



**Grantsville Feed & Supply  
Garrett County Maryland**

Grantsville Feed & Supply

Phase I Environmental Site Assessment

District III

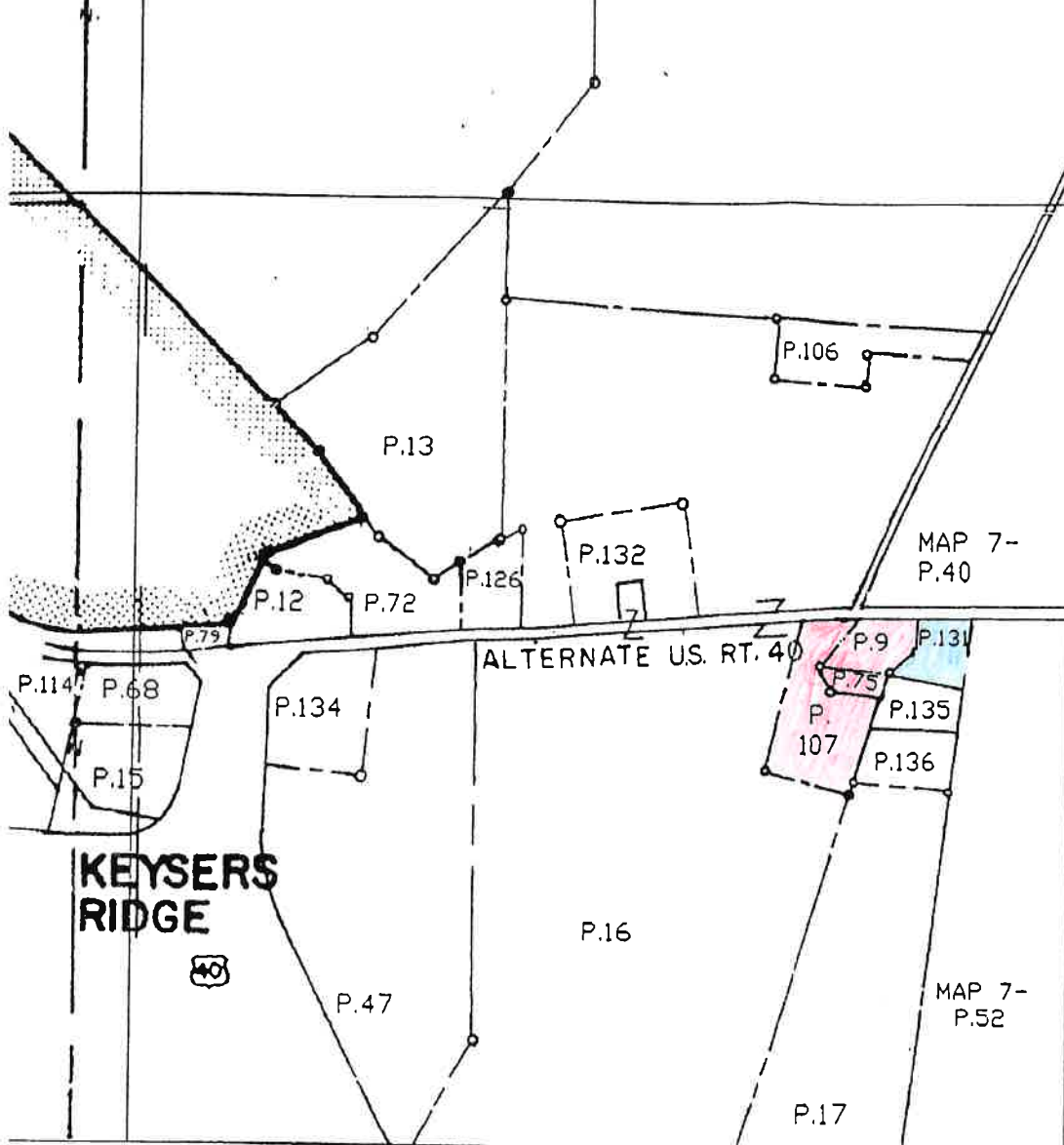
Garrett County, MD

**TAX MAP NO. 6  
PARCELS 9, 75, 107**

HAROLD C. LIPSCOMB  
443/28  
89.00A.  
P.7

P/O P

687



ALTERNATE U.S. RT. 40

**KEYSERS  
RIDGE**



226997.4mN  
208001.9mE

684

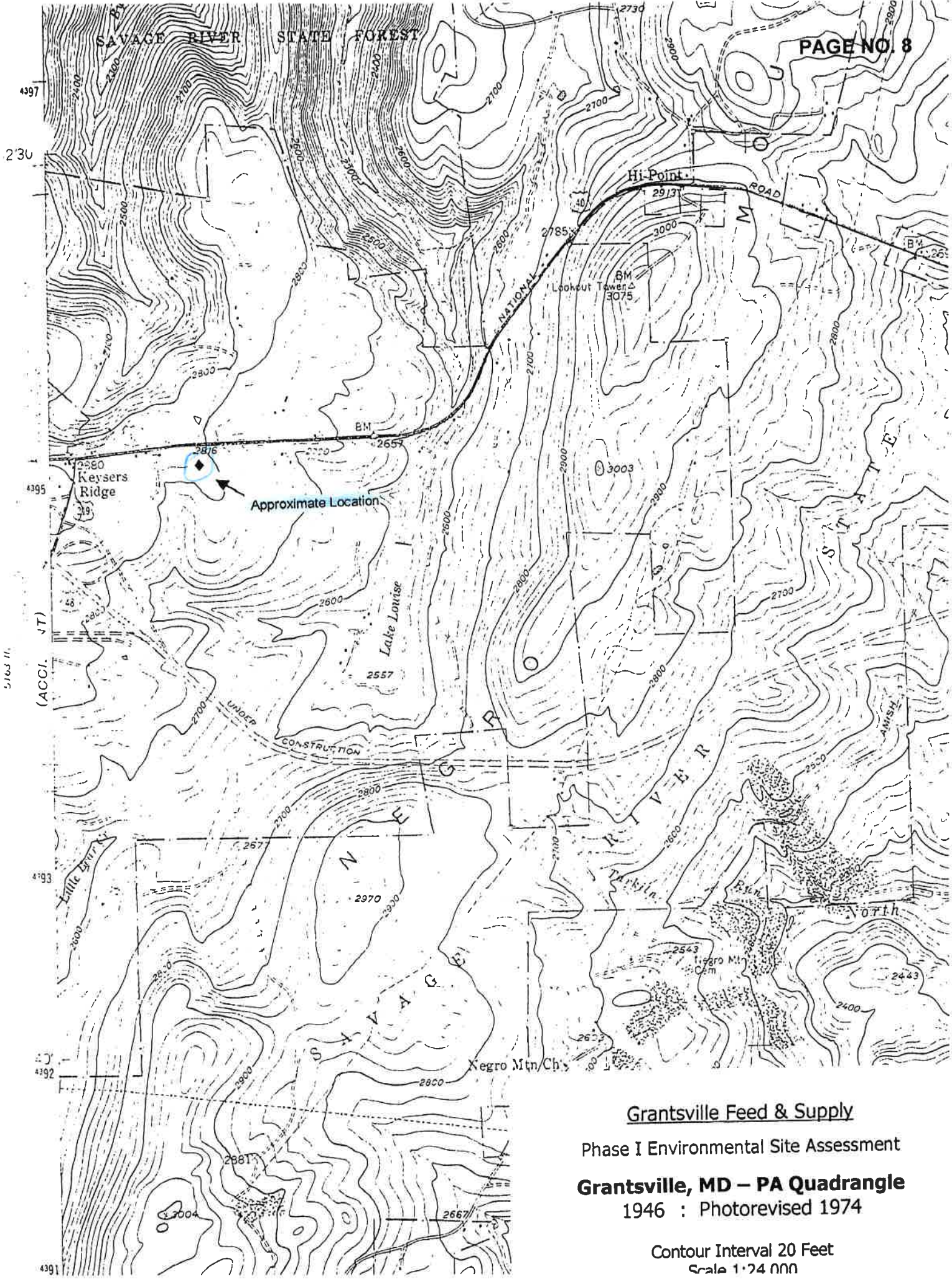
**GARRETT COUNTY,  
MARYLAND**

152-684

**MAP NO.  
6**

167

170



Grantsville Feed & Supply

Phase I Environmental Site Assessment

**Grantsville, MD – PA Quadrangle**

1946 : Photorevised 1974

Contour Interval 20 Feet  
Scale 1:24 000

## Phase I Environmental Site Assessment

### PHASE I ENVIRONMENTAL SITE ASSESSMENT

#### **SUBJECT SITE**

The subject site is a parcel of real estate presently owned by Robert A. Oester and Aquilla M. Oester and assessed in Garrett County, Maryland, and shown on Tax Map 6 as Parcel 9, 75 and 107 containing 3.38 acres. The tract lies on the south side of US Route 40 and north of I-68. The subject site is located on the U.S.G.S. Maryland Grantsville Topographical Map. The site can be described as commercial property.

## **Phase I Environmental Site Assessment**

### **HISTORICAL USES**

A review of public records and interviews with the current management of Grantsville Feed & Supply was conducted. Prior to the development of the feed store, the property was vacant pasture and cropland.

The present use of the site can best be described as a commercial property that is primarily engaged in the processing and selling of agricultural feeds.

A 1964 deed reference refers to a building on site, which was used as a gas station. All records indicate that the tanks were removed and that no contamination from fuel spillage occurred.

## Phase I Environmental Site Assessment

The facility maintains a septic sanitary sewer system and obtains water from a drilled well. The facility presently maintains one aboveground, thousand (1,000) gallon steel storage tank for heating fuel.

According to personal interviews with Mr. Oester, over the past thirty years the primary function at this facility was as a feed and supply business which served the local agricultural community.

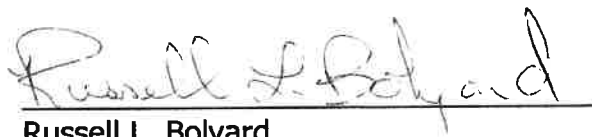
During the visual and physical inspection conducted on October 19, 2001, there were no apparent or visually detectable signs of petroleum release. No strong or pungent odors were present and no unusual staining or discolorations were observed outside or within the facility.

## Phase I Environmental Site Assessment

### CONCLUSIONS

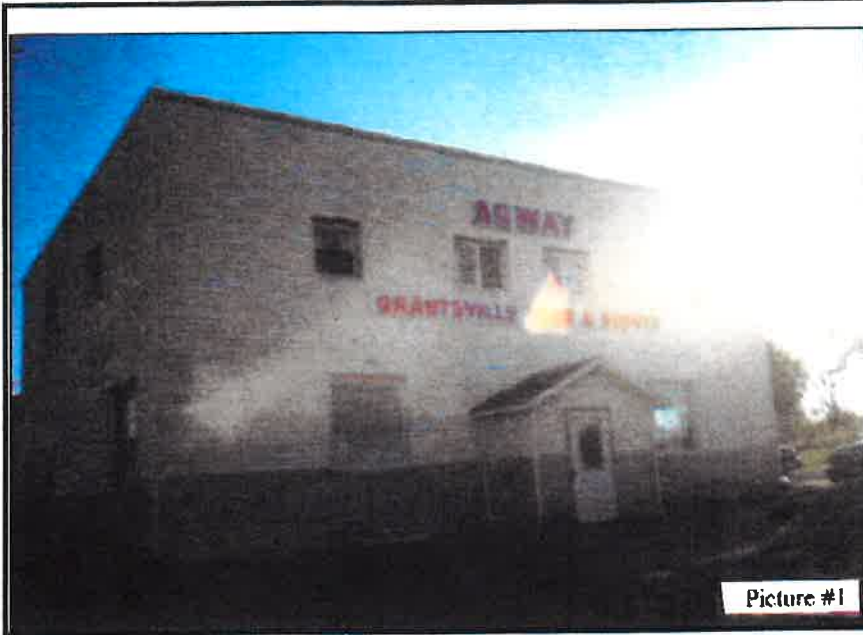
R & K Enterprises has conducted a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527 on a parcel of real estate assessed in District III, Garrett County, Maryland, and further described in this report. Any exceptions to or deletions from this practice are described in the appropriate section.

According to the information obtained from our records review (which included an examination of available real estate transaction records, examination of U.S.G.S. Topographical Maps, Maryland Department of Environment), site reconnaissance (which included a visual and physical inspection of the site) and personal interviews with key personnel of Grantsville Feed & Supply. This assessment has revealed no evidence of recognized environmental conditions in connection with this property.



Russell L. Bolyard  
R & K Enterprises  
WV Contractor's Lic.No.: WV020774  
Date: October 31, 2001  
CEI & CES  
Certification No.: 11622

RLB/rl



PICTURE No. 1

FRONT AND NORTH  
SIDE OF SITE

Main STORE Bldg.

Picture #1

MPN 19-0010 SEP 19-S010(1)



PICTURE No. 2

FRONT AND  
LOOKING SOUTHEAST

w/ Apartment 2nd  
Floor

Total sq. ft.  
3260'

Picture #2

MPN 19-0010 SEP 19-S010(2)



PICTURE No. 3

WEST SIDE OF SITE

Picture #3

MPN 19-0010 SEP 19-S010(3)





Picture #4

MPN 19-0010 SPN 19-S010(4)

PICTURE No. 4

WEST SIDE OF SITE



Picture #5

MPN 19-0010 SPN 19-S010(5)

PICTURE No. 5

EAST SIDE AND  
DELIVERY TRUCK  
LOADING BUILDING

Total Sq. FT.  
1680'



Picture #6

MPN 19-0010 SPN 19-S010(6)

PICTURE No. 6

SOUTH SIDE OF  
TRUCK LOADING BUILDING

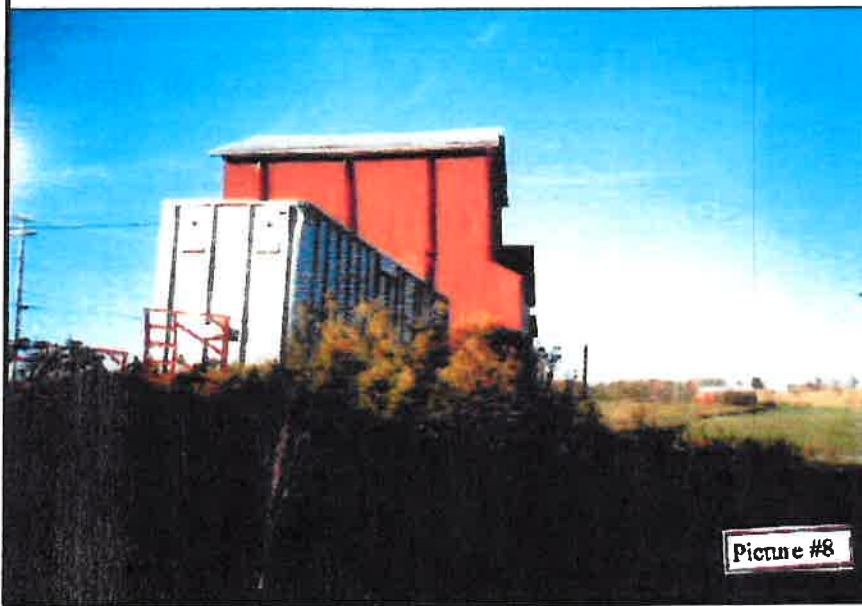
Total Sq. FT  
1792'



PICTURE No. 7

CHEMICAL STORAGE TRAILER

MPN 19-0010 SPN 19-S010(7)



PICTURE No. 8

EAST SIDE OF  
CHEMICAL STORAGE TRAILER

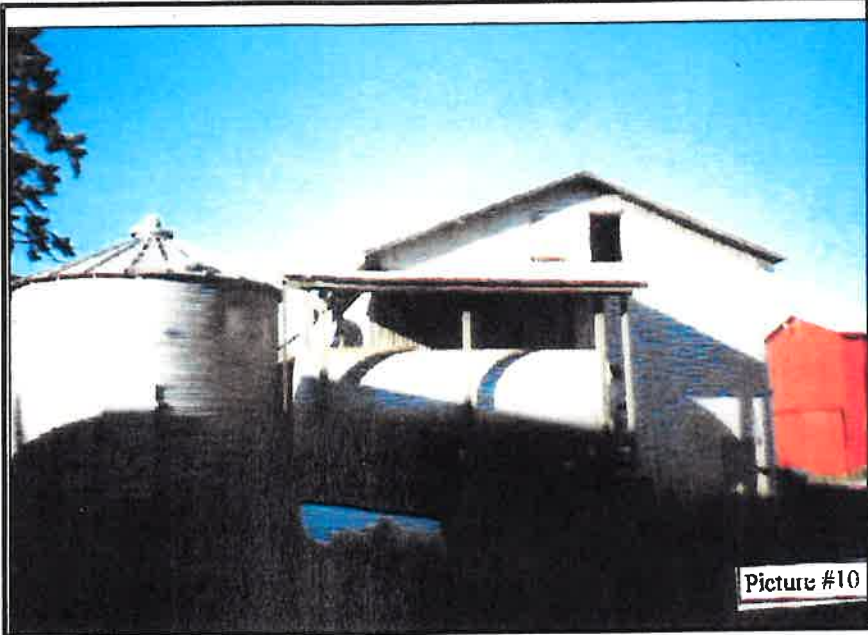
MPN 19-0010 SPN 19-S010(8)



PICTURE No. 9

EAST SIDE  
OF PROPERTY

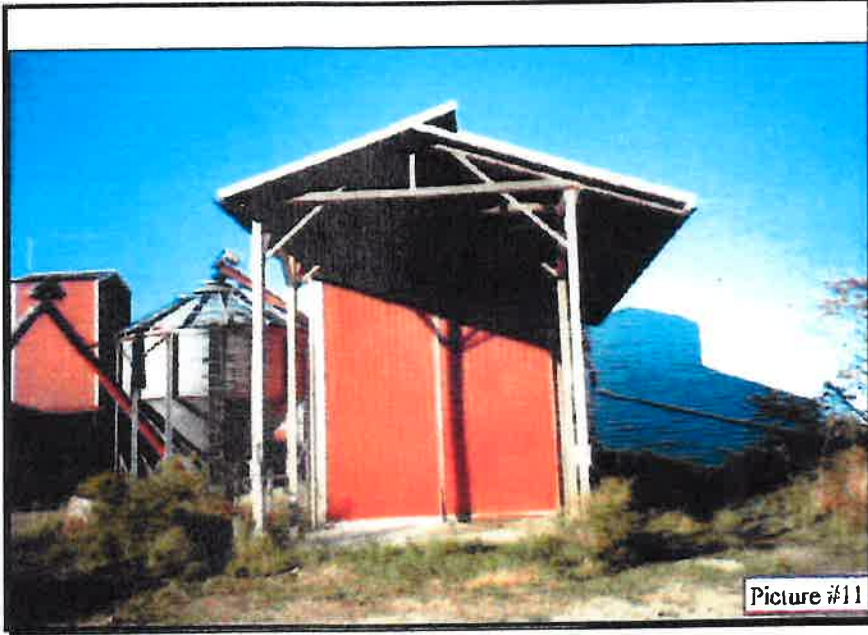
MPN 19-0010 SPN 19-S010(9)



PICTURE No. 10

MOLASSES TANK

MPN 19-0010 SPN 19-S010(10)



PICTURE No. 11

STORAGE BUILDING

MPN 19-0010 SPN 19-S010(11)



PICTURE No. 12

INTERIOR ACCESS ROAD

MPN 19-0010 SPN 19-S010(12)



PICTURE No. 13

SUPPLY STORAGE BUILDING  
w/Loading Docks  
Total 5060 sq. ft.

MPN 19-0010 SPN 19-S010(13)



PICTURE No. 14

LOADING DOCK  
Concrete Block Feed  
STORAGE Addition  
2000 sq. ft.

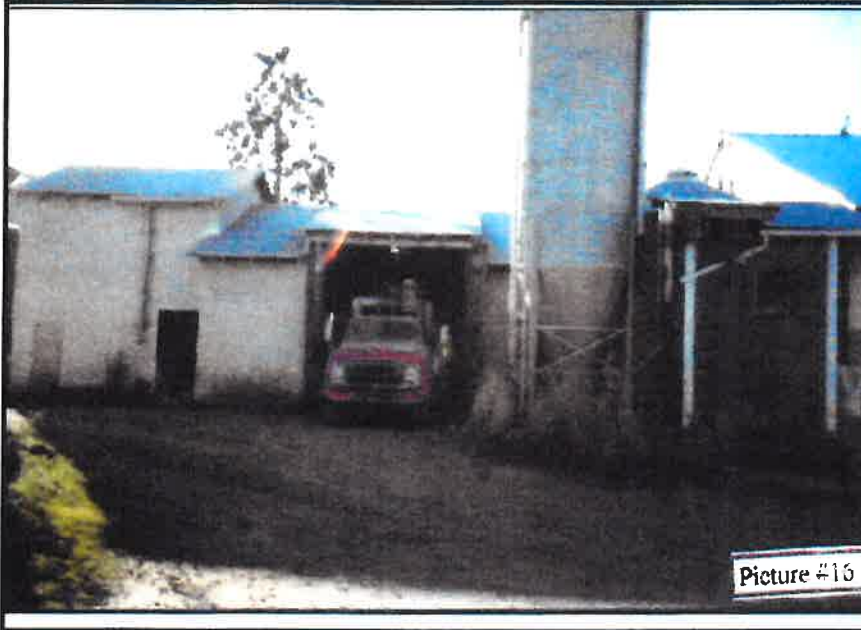
MPN 19-0010 SPN 19-S010(14)



PICTURE No. 15

LOOKING SOUTH  
FROM FRONT OF  
MAIN BUILDING

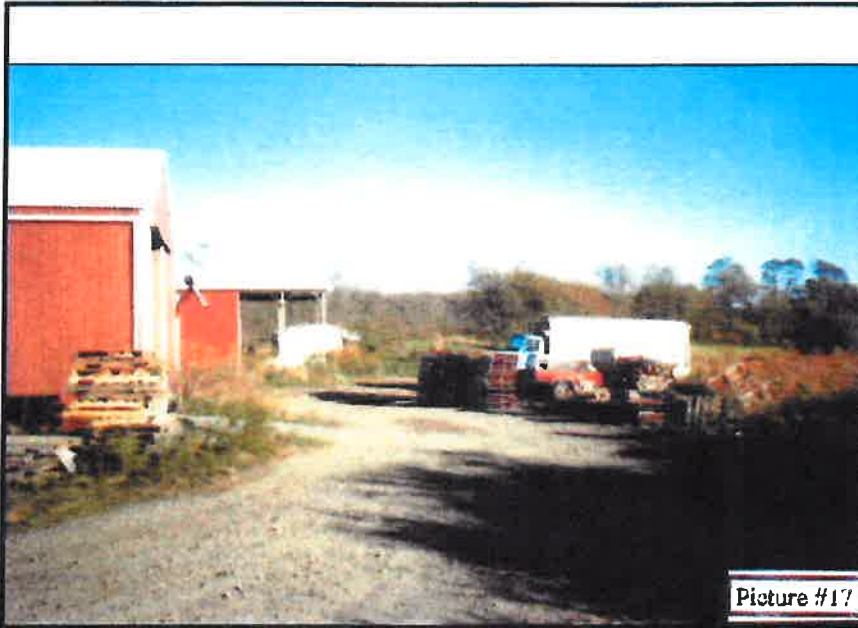
MPN 19-0010 SPN 19-S010(15)



PICTURE No. 16

LOADING AREA

MPN 19-0010 SPN 19-S010(16)



PICTURE No. 17

SOUTH END OF PROPERTY

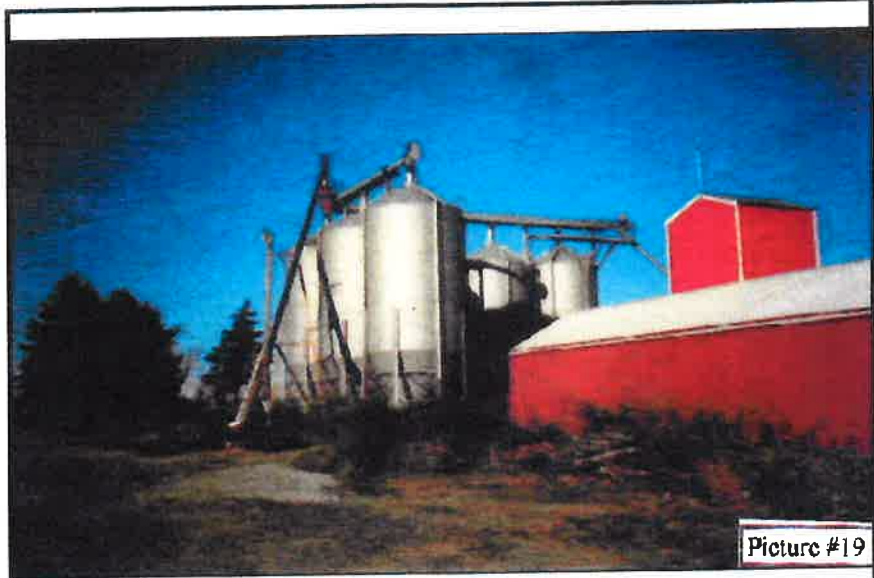
MPN 19-0010 SPN 19-S010(17)



PICTURE No. 18

WEST SIDE OF PROPERTY

MPN 19-0010 SPN 19-S010(18)

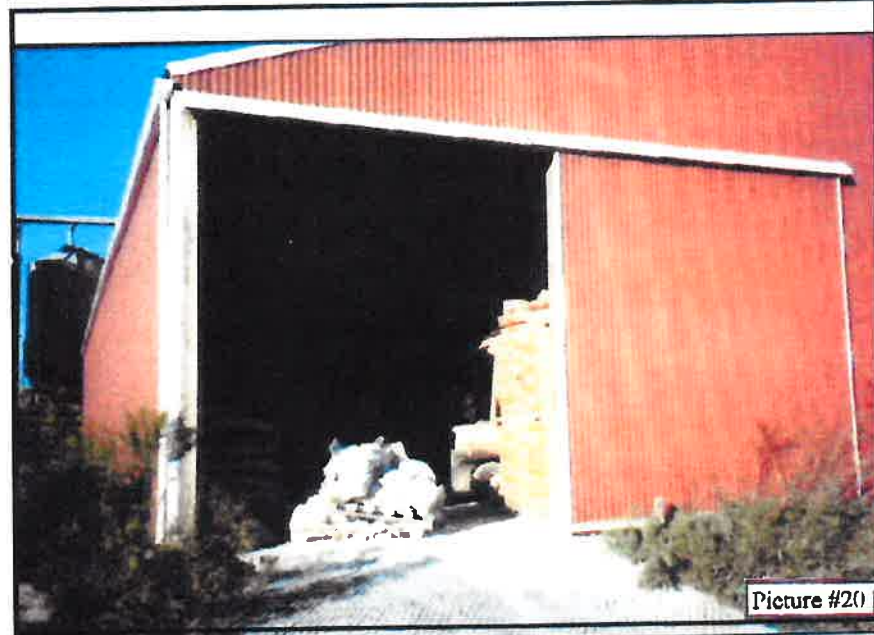


Picture #19

PICTURE No. 19

GRANARIES

MPN 19-0010 SPN 19-S010(19)



Picture #20

PICTURE No. 20

SUPPLY STORAGE BUILDING

MPN 19-0010 SPN 19-S010(20)

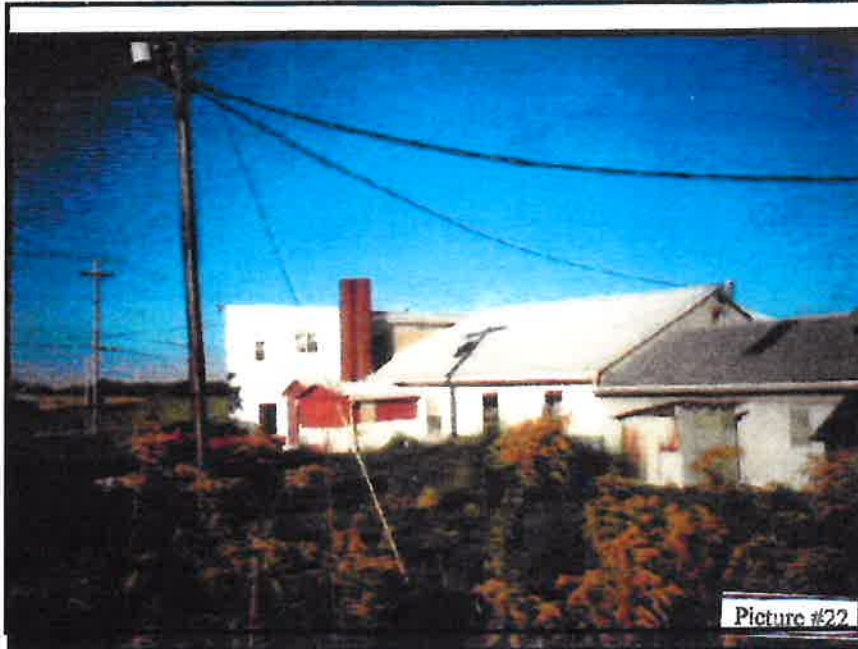


Picture #21

PICTURE No. 21

WEST SIDE OF PROPERTY

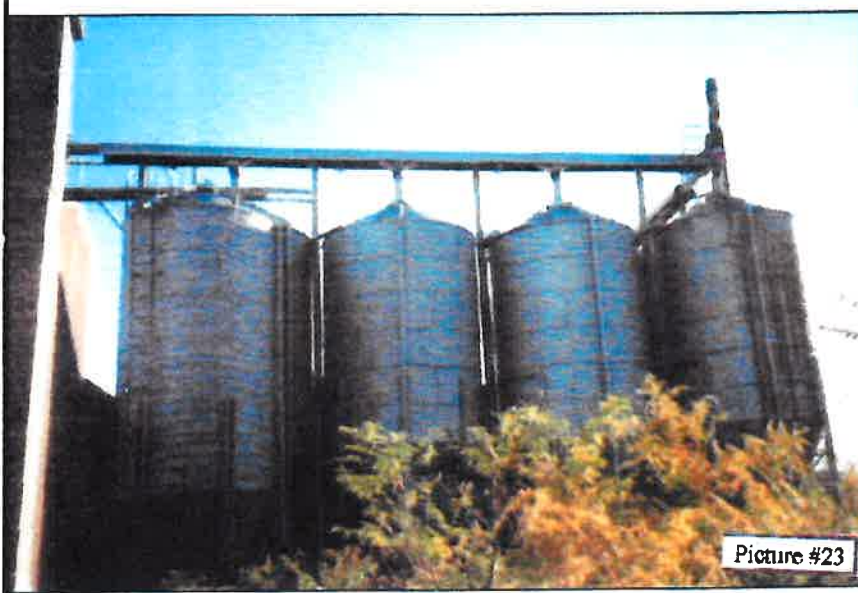
MPN 19-0010 SPN 19-S010(21)



PICTURE No. 22

WEST SIDE OF PROPERTY

MPN 19-0010 SPN 19-S010(22)



PICTURE No. 23

GRANARIES

MPN 19-0010 SPN 19-S010(23)



PICTURE No. 24

ADJACENT PROPERTY  
LOOKING NORTHEAST

MPN 19-0010 SPN 19-S010(24)



PICTURE No. 25

ADJACENT PROPERTY  
LOOKING NORTH

MPN 19-0010 SFN 19-5010(25)



PICTURE No. 26

AERIAL VIEW  
ENTIRE SITE

MPN 19-0010 SFN 19-5010(1)



## **VI Neighborhood Data and Market Trends**

The subject property is located at the northern periphery of Garrett County near the incorporated community of Grantsville, Maryland. Of beneficial influence to the subject property is its proximity to Interstate 68 located south of the property and the "clover leaf" on-ramp of the interstate east bound to Cumberland and points east, connecting with Interstate 70 at Hancock, Maryland. Interstate 68 crosses the West Virginia State line approximately 15 miles west of the subject property.

The property is located within two miles of the Northern Garrett Industrial Park where a national corporation, Closet Maid, started its eastern regional distribution center in 2007. With the completion of the I-68 corridor along with the expansion of the Northern Garrett Industrial Park, Grantsville has become one of the fastest growing sections of the County over the last ten (10) years.

The foundation of the Garrett County economy is considered to be two-fold. Employment on a year-round basis is provided by the service and trade sectors as well as the smaller manufacturing and agricultural sectors. During the summer months and the winter ski season, the tourist sector becomes a very important component of the economy, centered around Deep Creek Lake approximately 15 miles south of the subject property. In addition to the "Lake," approximately 25% of the County's land area is comprised of State Forest lands which provide hunting, hiking and cross country skiing venues for visitors to the County.

All community services and most public facilities are available within 2 miles or less than a ten minute drive of the subject property in Grantsville and nearby Frostburg, MD.